

# Notice of Meeting



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## Western Area Planning Committee Wednesday, 11 August 2021 at 6.30pm in the Council Chamber Council Offices Market Street Newbury

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If members of the public wish to attend the Planning Committee they can do so either remotely or in person. Members of the public need to notify the Planning Team ([planningcommittee@westberks.gov.uk](mailto:planningcommittee@westberks.gov.uk)) by no later than 4.00pm on Tuesday 10 August 2021, if they wish to attend the Planning Committee.

Please note that due to the current Coronavirus restrictions there is a limit on the number of people who can enter the Council Chamber. Remote attendance at the meeting is therefore encouraged at this time.

### Members Interests

Note: If you consider you may have an interest in any Planning Application included on this agenda then please seek early advice from the appropriate officers.

Date of despatch of Agenda: Tuesday, 3 August 2021

### Further information for members of the public

Plans and photographs relating to the Planning Applications to be considered at the meeting can be viewed by clicking on the link on the front page of the relevant report.

For further information about this Agenda, or to inspect any background documents referred to in Part I reports, please contact the Planning Team on (01635) 519148  
Email: [planningcommittee@westberks.gov.uk](mailto:planningcommittee@westberks.gov.uk)



**Agenda - Western Area Planning Committee to be held on Wednesday, 11 August 2021**  
*(continued)*

Further information, Planning Applications and Minutes are also available on the Council's website at [www.westberks.gov.uk](http://www.westberks.gov.uk)

Any queries relating to the Committee should be directed to Jenny Legge on (01635) 503043 Email: [jenny.legge@westberks.gov.uk](mailto:jenny.legge@westberks.gov.uk)

**Agenda - Western Area Planning Committee to be held on Wednesday, 11 August 2021**  
(continued)

**To:** Councillors Adrian Abbs, Phil Barnett, Dennis Benneyworth (Chairman), Jeff Cant, Hilary Cole, Carolyn Culver, Clive Hooker, Tony Vickers (Vice-Chairman) and Howard Woollaston

**Substitutes:** Councillors Jeff Beck, David Marsh, Steve Masters, Andy Moore, Erik Pattenden, Garth Simpson and Martha Vickers

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# Agenda

## Part I

Page No.

1. **Apologies**  
To receive apologies for inability to attend the meeting (if any).
  2. **Minutes** 5 - 18  
To approve as a correct record the Minutes of the meeting of this Committee held on 30 June 2021.
  3. **Declarations of Interest**  
To remind Members of the need to record the existence and nature of any personal, disclosable pecuniary or other registrable interests in items on the agenda, in accordance with the Members' [Code of Conduct](#).
  4. **Schedule of Planning Applications**  
*(Note: The Chairman, with the consent of the Committee, reserves the right to alter the order of business on this agenda based on public interest and participation in individual applications).*
- (1) **Application No. and Parish: 20/02779/COMIND, Land South of Newbury College, Monks Lane, Newbury, Greenham** 19 - 58

## Agenda - Western Area Planning Committee to be held on Wednesday, 11 August 2021

(continued)

- Proposal:** Section 73 variation of conditions 2 (plans), 3 (boundary treatments), 4 (hardscaping), 6 (BREEAM), 7 (external lighting), 9 (noise from services), 11 (sport England), 12 (travel plan), 13 (cycle and scooter parking), 17 (landscaping) and 24 (E V charging points) of approved 17/03434/COMIND - Construction of a new 1 FE single-storey primary school south of the existing Newbury College, with associated soft and hard landscaping. Construction of a temporary access to the school from the Newbury College site and a permanent access from the A339 to serve the allocated strategic housing site and form the permanent access to the school. Construction of bunds adjacent to the temporary and permanent access roads to prevent access from the roads to private land.
- Location:** Land South of Newbury College, Monks Lane, Newbury.
- Applicant:** Re-Format LLP on behalf of West Berkshire Council
- Recommendation:** To DELEGATE to the Head of Development and Planning to GRANT PLANNING PERMISSION subject to the schedule of conditions (Section 8).

### Background Papers

- (a) The West Berkshire Core Strategy 2006-2026.
- (b) The West Berkshire District Local Plan (Saved Policies September 2007), the Replacement Minerals Local Plan for Berkshire, the Waste Local Plan for Berkshire and relevant Supplementary Planning Guidance and Documents.
- (c) Any previous planning applications for the site, together with correspondence and report(s) on those applications.
- (d) The case file for the current application comprising plans, application forms, correspondence and case officer's notes.
- (e) The Human Rights Act.

### Sarah Clarke

Service Director (Strategy and Governance)

If you require this information in a different format or translation, please contact Stephen Chard on (01635) 519462.



West Berkshire  
C O U N C I L

## DRAFT

Note: These Minutes will remain DRAFT until approved at the next meeting of the Committee

### WESTERN AREA PLANNING COMMITTEE

#### MINUTES OF THE MEETING HELD ON WEDNESDAY, 30 JUNE 2021

**Councillors Present:** Adrian Abbs, Phil Barnett, Jeff Cant, Hilary Cole, Carlyne Culver, Lynne Doherty (Substitute) (In place of Dennis Benneyworth), Clive Hooker, Tony Vickers (Vice-Chairman) and Howard Woollaston

**Also Present:** Sharon Armour (Solicitor), Sian Cutts (Senior Planning Officer), Christine Elsasser (Democratic Services Officer), Paul Goddard (Highways Development Control Team Leader), Gordon Oliver (Corporate Policy Support) and Simon Till (Western Area Planning Team Leader)

**Apologies for inability to attend the meeting:** Councillor Dennis Benneyworth

#### PART I

#### 4. Minutes

Councillor Tony Vickers proposed a non-notice procedural motion for standing orders be suspended, to permit Members (including those who are not Members of the Committee), officers and members of the public engaging remotely to speak at the option of the Chairman.

The motion was seconded by Councillor Howard Woollaston.

At the vote, the motion was carried unanimously.

The Minutes of the meeting held on 28 April 2021 were approved as a true and correct record and signed by the Vice-Chairman.

#### 5. Declarations of Interest

Councillors Phil Barnett and Tony Vickers declared an interest in Agenda Item 4(2), but reported that, as their interest was a personal or an other registrable interest, but not a disclosable pecuniary interest, they determined to remain to take part in the debate and vote on the matter.

#### 6. Schedule of Planning Applications

##### (1) **Application No. and Parish: 20/02779/COMIND, Land South of Newbury College, Monks Lane, Newbury, Greenham**

It was noted that this item had been withdrawn from the agenda to allow for further investigation and consultation on Highway matters.

##### (2) **Application No. and Parish: 20/02294/COMIND, The Kiosk, Victoria Park, Newbury**

*(Councillor Phil Barnett declared a personal interest in Agenda Item 4(2) by virtue of the fact that he was a Member of Newbury Town Council and its Planning and Highways Committee where this application had been discussed. As his interest was personal and*

## WESTERN AREA PLANNING COMMITTEE - 30 JUNE 2021 - MINUTES

*not prejudicial or a disclosable pecuniary interest, he determined to remain to take part in the debate and vote on the matter.)*

*(Councillor Tony Vickers declared a personal interest in Agenda Item 4(2) by virtue of the fact that he was a Member of Newbury Town Council and was present at the Planning and Highways Committee where this application had been discussed. As his interest was personal and not prejudicial or a disclosable pecuniary interest, he determined to remain to chair the meeting, but indicated that he would take no part in the debate or voting on the matter.)*

1. The Committee considered a report (Agenda Item 4(2)) concerning Planning Application 20/02294/COMIND in respect of The Kiosk, Victoria Park, Newbury for the development of a new community café to replace outdated facilities and provide a new cafe with indoor/outdoor seating areas, catering facilities, public toilets, changing facilities and storage.
2. Mrs Sian Cutts, Senior Planning Officer, introduced the report to Members, which took account of all the relevant policy considerations and other material planning considerations. In conclusion the report detailed that the proposal was acceptable in planning terms and officers recommended that the Head of Planning and Development be authorised to grant planning permission, subject to the conditions outlined in the main and update reports.
3. The Chairman asked Mr Paul Goddard, Highways Development Control Team Leader), if he had any observations relating to the application. Mr Goddard stated that there were no objections to the proposal. However, he noted that it would affect Public Footpath Newbury 23 which ran adjacent to the site, and there was a need to protect pedestrians during construction. He supported the inclusion of an additional condition requiring a Site Access Plan to be submitted and approved prior to development works commencing, as set out in the update sheet.
4. In accordance with the Council's Constitution, Mr David Ingram, Mr Roger Hunneman, Mr Phillip Allen, applicants, and Mr Michael Pagliaroli, agent, addressed the Committee on this application.

### **Applicant/Agent Representation**

5. Mr David Ingram, Communities Services Manager at Newbury Town Council, in addressing the Committee raised the following points:
  - The project had been considered for a long time, and been considered by the Committee in various forms over many years.
  - The Town Council no longer felt that the kiosk was fit for purpose. Its use was weather dependent and the franchisee had to plan staffing and supplies around the weather.
  - There were no facilities for the public, and the building and its catering layout needed a major catering overhaul.
  - The brick building behind was constructed as an air-raid shelter, and was a derelict shell, a common target for vandalism, and had been broken into the night before.
  - There was a need for public toilets, since the park attracted many families who currently had to use facilities at the Wharf Car Park, or at Parkway. Numerous requests had been received from residents and visitors for toilets to be provided in the park.

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- Demolition and rebuild had been shown to represent the best value-for-money option. The proposal was for a new, modern fit-for-purpose catering offer, with an under-cover area that could be enclosed by sliding glass doors in the winter months, and new toilets.
- It was proposed that the facility would operate as a community café facility.
- Following discussion with disability groups and Changing Places, the toilets would have specialist changing facilities with appropriate toilets and washing facilities, and a change table with an electric hoist. This would be registered on a national database of changing facilities.
- The Environment Agency was satisfied that the 1 in 100 year flood risk assessment could be met, and the application was compliant with all statutory provisions, and would be carbon neutral in line with the Town Council's Climate Emergency resolution.
- If the planning application were to be approved, the next stage would be to seek building regulations approval and go to tender for construction.

### **Member Questions to the Applicant/Agent**

6. Councillor Hilary Cole asked Mr Ingram to confirm what material the roof would be made of and what colour it would be. Mr Ingram responded that it was a metal roof, and the colour would be agreed with the Planning Officer to be acceptable from a conservation perspective. He noted that the roof would have solar panels on one side, as part of the works to make the building carbon neutral.
7. Councillor Hilary Cole stated that it was good that the building would be carbon neutral, but asked why BREEAM Excellent was unachievable. She noted that not achieving BREEAM Excellent was in contravention of the Council's Policy CS15. Mr Ingram noted that there were conflicts between carbon neutrality and the BREEAM rating, such as a green roof scoring BREEAM credits, but precluding the installation of solar panels to power the building and achieve carbon neutrality.
8. Councillor Phil Barnett asked what height the floor would be in comparison with ground level, to prevent flooding. Mr Michael Pagliaroni, the lead architect of the development, responded that the Environment Agency required this to be 40cm above ground level, and an additional 30cm to allow for waves during flooding. He confirmed that there would be a void under the building with bars across the openings and suitable landscaping.
9. Councillor Carlyne Culver noted that some environmental considerations could not be assessed at that time (Paragraph 6.8), and asked if a BREEAM Excellent grade was still attainable. Mr Ingram responded that it was his objective to achieve an Excellent grade, but that carbon neutrality was their priority and BREEAM Excellent may be missed by a few points. Mr Pagliaroni noted that smaller developments had fewer opportunities to accrue BREEAM ratings points, but could achieve this through the production of detailed reports. He confirmed one reason for not having roof tiles was due to concerns about vandalism. Mr Pagliaroni stated that the building was currently assessed at BREEAM Good grade.
10. Councillor Culver asked whether the void underneath the building, if it became flooded, would require pumping of floodwater out or whether it would naturally seep into the ground. Mr Pagliaroni responded that both would be the case, and that flood mitigation would need to be determined.

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11. Councillor Clive Hooker asked what provisions would be put in place to secure the building overnight. Mr Ingram responded that they were in consultation with Thames Valley Police to discuss security measures such as CCTV and alarms, and how facilities such as the public toilets would be secured, but that it was not a planning consideration at this stage. He noted that such considerations would need to be agreed with the insurers.
12. Councillor Adrian Abbs noted that the building was essentially on stilts, and asked what measures would be put in place to ensure safety and cleanliness, as debris would blow underneath the building and that it was large enough to crawl into. Mr Pagliaroni responded that there would be metal bars and potentially a mesh to prevent debris, and that preferably most of the bars would be fixed, with some that were removable and with access to the void from inside the building.

### **Ward Member Representation**

13. Councillor Andy Moore in addressing the Committee raised the following points:
  - He declared that he was a Member of the Town Council and its Planning and Highways Committee, and had participated in discussions relating to the application, but came to no judgement on it due to conflict of interest.
  - He confirmed that he wholly supported the application, and emphasised that redevelopment of facilities in Victoria Park had been a goal of three Town Council administrations.
  - It enjoyed wide community support and there were no objections.
  - The proposed development would replace a tired, older building with a modern, more environmentally sound building.
  - He strongly urged Members to confirm the Officer's recommendation for approval.

### **Member Questions to the Ward Member**

14. Members did not have any questions of clarification.

### **Member Questions to Officers**

15. Councillor Barnett asked if construction activities would be constrained to prevent disruption of an event such as a fair at the park, or the use of the public footpath which was used by schoolchildren. Mr Goddard responded that since the site was close to a school, deliveries would be restricted during school opening and closing times.
16. Councillor Culver asked why the floor space of the building was not applicable for a sequential test for flooding regulations (Paragraph 6.7). Mrs Cutts responded that the Planning Policy Guidance set out which developments were subject to the sequential tests. This targeted larger buildings within flood zones, and the sequential test did not apply to this development.
17. Councillor Cant asked if children or small animals could become stuck in the cavity underneath the building, and asked what safety measures there were to prevent such risks. Mrs Cutts responded that Condition 14 contained a number of measures for sustainable drainage, and that Part E required details for the void under the building to be submitted, and the arches to be fitted with metal grills to prevent access, and Part G related to maintenance. Mrs Cutts responded that in her view, those conditions were sufficient.



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### Debate

18. Councillor Lynne Doherty opened the debate by proposing to accept the Officer's recommendations, noting that it was a long-standing priority. She pointed to the Newbury Vision, and noted that green spaces would be key to the future of Newbury.
19. Councillor Barnett stated his support for the proposed development, which he felt would benefit Newbury and the surrounding area, and would cater for the need of different groups using the park.
20. Councillor Hilary Cole noted her support for the application and applauded the fact that the building would be carbon neutral, but expressed disappointment that the Town Council was not setting an example to private developers by attaining BREEAM Excellent. Councillor Hilary Cole considered the design of the kiosk to be mediocre and a typical public building. She felt that the metal roof, while accommodating solar panels, resembled a barn. She expressed regret that an opportunity had been missed to be more innovative and exciting with design principles and the proposal lacked a "wow factor".
21. Councillor Howard Woollaston seconded the motion, noting that the roof was metal due to unavoidable practicalities associated with a public building that was a target for vandalism.
22. Councillor Abbs noted that it would only be the second carbon neutral development to be approved by the Council, and applauded Newbury Town Council for that achievement. He expressed his hope that the development would achieve a BREEAM Excellent grade. He agreed that it would be nice to have had an award-winning design, but recognised that there were budgetary constraints.
23. The Chairman invited Members of the Committee to vote on the proposal by Councillor Doherty and seconded by Councillor Woollaston to grant planning permission. At the vote the motion was carried.

**RESOLVED that** the Head of Development and Planning be authorised to grant planning permission subject to the following conditions:

### **Conditions**

#### **1. Commencement of development**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**Reason:** To comply with Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

#### **2. Approved Plans (amended)**

The development hereby permitted shall be carried out in accordance with the approved plans and documents listed below:

- i. Location Plan received on 6th October 2020;
- ii. Site Plan and Block Plan Drawing No. 1284-PL01 Rev A received on 26th January 2021;

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- iii. Proposed Block Plan and Floor Plan Drawing No 1284-PL01 Rev A received on 26th January 2021;
- iv. Proposed Elevations Drawing No 1284-PL03 Rev A received on 26th January 2021;
- v. Building Footprints Drawing No 6263.404 Rev A received on 12th March 2021;
- vi. Tree Protection Plan Drawing No 110-A received on 26th January 2021;
- vii. Heritage Design and Access Statement prepared by Michael Pagliaroli Architects September 2020 received on 2nd October 2020;
- viii. Bat Survey Report May 2019, Prepared by Greengage received on 2nd October 2020;
- ix. Arboricultural Method Statement Rev A January 2021 prepared by John W Platts Chartered Landscape Architects Ltd received on 26th January 2021;
- x. Tree Protection Plan Drawing No. 110-A received on 26th January 2021;
- xi. Flood Risk Assessment and Drainage Statement prepared by Stuart Michael Associated SMA Ref: 6263-FRA&DS Issue:01 September 2020 received on 2nd October 2020;
- xii. FRA & Drainage Technical Note prepared Stuart Michael Associated SMA Ref: 6263 dated 5th March 2021 received on 12th March 2021;
- xiii. Bifold Doors details (Four doors) received on 27th January 2021;
- xiv. Bifold Doors details (Double doors) received on 27th January 2021;
- xv. Window Details T&T received on 27th January 2021;
- xvi. Window Details Raked Frame received on 27th January 2021; and
- xvii. Steel Security Door received on 27th January 2021;

**Reason:** For the avoidance of doubt and in the interest of proper planning.

### **3. Materials to be submitted**

No development shall take place above foundation slab level until samples and an accompanying schedule of all materials and finishes visible external to the building have been submitted to and approved in writing by the Local Planning Authority. Samples shall be made available to be viewed at the site or by arrangement with the Planning Officer. All materials incorporated in the work shall match the approved samples.

**Reason:** To ensure that the materials are appropriate to the special architectural or historic interest of the building. This condition is imposed in accordance with the National Planning Policy Framework (February 2019) and Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026) the Quality Design SPD and the Newbury Town Design Statement.

**4. New Windows/Areas of Glazing and Doors (amended)**

No works to window/door/roof openings shall take place until detailed plans and specifications of such works have been submitted to and approved in writing by the Local Planning Authority. Such details shall include colour and finishes. The windows/areas of glazing/external doors shall be installed in accordance with the approved plans, colours and finishes.

**Reason:** To protect the character and appearance of the Conservation Area. This condition is imposed in accordance with the National Planning Policy Framework (February 2019) and Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), the Quality Design SPD and the Newbury Town Design Statement.

**5. Solar Panels**

No works to the roof shall take place until details of the solar panels to be installed in the building have been submitted to and approved in writing by the Local Planning Authority. Thereafter the solar panels shall be installed in accordance with the approved details.

**Reason:** To protect the character and appearance of the Conservation Area. This condition is imposed in accordance with the National Planning Policy Framework (February 2019) and Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), the Quality Design SPD and the Newbury Town Design Statement.

**6. Cooking Equipment**

No equipment for cooking hot food shall be installed until a scheme of works or such other steps as may be necessary to minimise the effects of odour and noise from the preparation of food associated with the development have been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be installed in accordance with the approved details, before any hot food is cooked within the approved building and shall be operated and retained in full working order thereafter.

**Reason:** To protect the character of the Conservation Area, and general amenity of the area by controlling cooking smells, noise and odour. This condition is imposed in accordance with the National Planning Policy Framework (February 2019) and Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), and policies OVS5 and OVS6 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).

**7. Cycle Storage**

The development shall not be brought into use until the cycle parking has been provided in accordance with the approved details and retained for this purpose at all times.

**Reason:** To promote cycling by providing convenient and safe bicycle storage. This condition is imposed in accordance with the National Planning Policy Framework (February 2019), Policies CS13 and CS14 of the West Berkshire Core Strategy (2006-2026), Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007), and Supplementary Planning Document Quality Design (June 2006).

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### 8. Spoil Removal

No development shall take place until details of how all spoil arising from the development will be used and/or disposed have been submitted to and approved in writing by the Local Planning Authority. These details shall:

- (a) Show where any spoil to remain on the site will be deposited;
- (b) Show the resultant ground levels for spoil deposited on the site (compared to existing ground levels);
- (c) Include measures to remove all spoil from the site (that is not to be deposited);
- (d) Include timescales for the depositing/removal of spoil.

All spoil arising from the development shall be used and/or disposed of in accordance with the approved details.

**Reason:** To ensure appropriate disposal of spoil from the development and to ensure that ground levels are not raised in order to protect the character and amenity of the area. This condition is applied in accordance with the National Planning Policy Framework, and Policies CS14 and CS19 of the West Berkshire Core Strategy 2006-2026, and policies OVS5 and OVS6 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007). A pre-commencement condition is required because spoil may arise throughout development.

### 9. Tree Protection

Protective fencing shall be implemented and retained intact for the duration of the development in accordance with the tree and landscape protection scheme identified on approved drawing(s) numbered plan John W Platts Tree Protection Plan dated January 2021 dwg 110-A. Within the fenced area(s), there shall be no excavations, storage of materials or machinery, parking of vehicles or fires.

**Reason:** To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with the objectives of the NPPF and Policies CS14, CS18 and CS19 of West Berkshire Core Strategy 2006-2026.

### 10. Tree Retention

No trees, shrubs or hedges shown as being retained on tree survey John W Platts Tree Protection Plan dated January 2021 dwg 110-A shall be pruned, cut back, felled, wilfully damaged or destroyed in any way without the prior consent of the local planning authority. Any trees, shrubs or hedges felled, removed or destroyed, or any that dies, become seriously damaged or diseased within five years from completion of the approved development, shall be replaced with the same species in the next planting season unless the Local Planning Authority gives written consent for any subsequent variation.

**Reason:** To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with the objectives of the NPPF and Policies CS14, CS18 and CS19 of West Berkshire Core Strategy 2006-2026.

### **11. Arboricultural Method Statement**

The Arboricultural Method Statement and tree protection measures within report ref John W Platts Arboricultural Method Statement dated January 2021 rev.A shall be implemented in full and tree protection measures and works carried out in accordance with the Assessment. No changes shall be made to the works unless amendments have been submitted to and approved in writing by the Local Planning Authority and shall include details of any changes to the implementation, supervision and monitoring of all temporary tree protection and any special construction works within any defined tree protection area.

**Reason:** To ensure the protection of trees identified for retention at the site in accordance with the objectives of the NPPF and Policies ADPP5, CS14, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026.

### **12. Flood Risk Mitigation**

The development shall be carried out in accordance with the submitted flood risk assessment and Drainage Statement, Victoria Park, Newbury, Stuart Michael Associates Limited, September 2020, Issue 01, and Technical note by the Stuart Michael Associates, ref. SMA Ref: 6263, dated 5 March 2021, and the following mitigation measures it details:

- i. Finished floor levels shall be set 75.52m above Ordnance Datum (AOD).
- ii. Underfloor voids with the soffit of the void set to the 1% annual probability flood with an allowance for climate change at 75.13m above Ordnance Datum (AOD).

These mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the scheme's timing/phasing arrangements. The measures detailed above shall be retained and maintained thereafter throughout the lifetime of the development.

**Reason:** To reduce the risk of flooding to the proposed development and future occupants, and to prevent flooding elsewhere by ensuring that flood mitigation is provided. This condition is applied in accordance with the National Planning Policy Framework, and Policies CS16 of the West Berkshire Core Strategy 2006-2026.

### **13. Sustainable Drainage Methods**

No development shall take place until details of sustainable drainage measures to manage surface water within the site have been submitted to and approved in writing by the Local Planning Authority.

These details shall:

- a) Incorporate the implementation of Sustainable Drainage methods (SuDS) in accordance with the Non-Statutory Technical Standards for SuDS (March 2015), the SuDS Manual C753 (2015) and West Berkshire Council local standards, particularly the WBC SuDS Supplementary Planning Document December 2018;

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- b) Include and be informed by a ground investigation survey which establishes the soil characteristics, infiltration rate and groundwater levels. Any soakage testing should be undertaken in accordance with BRE365 methodology;
- c) Include construction drawings, cross-sections and specifications of all proposed SuDS measures within the site;
- d) Include run-off calculations, discharge rates, infiltration and storage capacity calculations for the proposed SuDS measures based on a 1 in 100 year storm +40% for climate change;
- e) Include elevated floors with voids underneath for flood storage to minimise the loss of flood storage capacity. Arches shall be fitted with grills to prevent access under the building by children or animals, or for storage of materials which would remove flood storage volume. Details shall be in accordance with Drawing 1284-PL03 ("Proposed Elevations" produced by Michael Pagliaroli), revision dated 8/3/2021 received on 12th March 2021;
- f) Include pre-treatment methods to prevent any pollution or silt entering SuDS features or causing any contamination to the soil or groundwater;
- g) Include details of how the SuDS measures will be maintained and managed after completion.
- h) Provide details of how surface water will be managed and contained within the site during any construction works to prevent silt migration and pollution of watercourses, highway drainage and land either on or adjacent to the site;

**Reason:** To ensure that surface water will be managed in a sustainable manner; to prevent the increased risk of flooding; to improve and protect water quality, habitat and amenity and ensure future maintenance of the surface water drainage system can be, and is carried out in an appropriate and efficient manner. This condition is applied in accordance with the National Planning Policy Framework, Policy CS16 of the West Berkshire Core Strategy (2006-2026), Part 4 of Supplementary Planning Document Quality Design (June 2006) and SuDS Supplementary Planning Document (Dec 2018). A pre-condition is necessary because insufficient detailed information accompanies the application; sustainable drainage measures may require work to be undertaken throughout the construction phase and so it is necessary to approve these details before any development takes place.

### 14. External Lighting

No external lighting shall be installed except in accordance with a lighting strategy that has been submitted to and approved in writing by the Local Planning Authority under a formal discharge of conditions application. The strategy shall:

- (a) Identify those areas on the site that are particularly sensitive for bats and that are likely to cause disturbance.
- (b) Show how and where external lighting will be installed so that it can be clearly demonstrated that areas to be lit will not disturb or prevent the above species.
- (c) Include isolux contour diagram(s) of the proposed lighting.

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(d) Ensure all lighting levels are designed within the limitations of Environmental Lighting Zone 1, as described by the Institute of Lighting Engineers.

No external lighting shall be installed on the elevations of the building or external decking area except in accordance with the above strategy.

**Reason:** To ensure the conservation and enhancement of the biodiversity assets of the site. This condition is applied in accordance with the National Planning Policy Framework, the North Wessex Downs AONB Management Plan 2019-24, and Policies CS17 and CS19 of the West Berkshire Core Strategy 2006-2026.

### **15. Biodiversity measures**

The development hereby permitted shall not be occupied until two integrated bat boxes have been installed in accordance with details that have first been submitted to and approved in writing by the Local Planning Authority under a formal discharge of conditions application.

**Reason:** To ensure biodiversity enhancements are incorporated into the development. This condition is applied in accordance with the National Planning Policy Framework, and Policy CS17 of the West Berkshire Core Strategy 2006-2026.

### **16. Written Scheme of Investigation**

Notwithstanding the submitted details, no demolition shall take place within the application area until the applicant has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall incorporate and be undertaken in accordance with the approved statement.

**Reason:** To ensure that any significant archaeological remains that are found are adequately recorded. This condition is imposed in accordance with the National Planning Policy Framework (February 2019) and Policy CS19 of the West Berkshire Core Strategy (2006-2026). A pre-commencement condition is required because the archaeological investigations are required throughout the development.

### **17. BREEAM**

The development hereby permitted shall achieve a rating of "Very Good" under BREEAM (or any such equivalent national measure of sustainable building which replaces that scheme). The development shall not be first occupied until a final certificate has been issued certifying that this BREEAM rating has been achieved, and a copy of the certificate has been provided to the Local Planning Authority.

**Reason:** To ensure the development contributes to sustainable construction. This condition is applied in accordance with the National Planning Policy Framework, Policy CS15 of the West Berkshire Core Strategy (2006-2026) and Supplementary Planning Document Quality Design (June 2006).

### **18. Zero Carbon**

No development shall take place above foundation slab level until a statement setting out how the approved works will comply with the requirement for zero carbon

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development has been submitted and approved in writing under a formal discharge of conditions application. Thereafter the development shall be carried out in accordance with the approved details.

**Reason:** To ensure that the development contributes towards a reduction in carbon emissions for the District, in accordance with the requirements of the NPPF and Policy CS15 of the West Berkshire Core Strategy (2006-2026).

### 19. Site Access Plan (added)

No development shall take place until a Site Access Plan has been submitted to and approved in writing by the Local Planning Authority. Thereafter the demolition and construction works shall incorporate and be undertaken in accordance with the approved Site Access Plan. The Site Access Plan shall include measures for:

- (a) Parking of vehicles of site operatives and visitors;
- (b) Loading and unloading of plant and materials;
- (c) Storage of plant and materials used in constructing the development;
- (d) Erection and maintenance of security hoarding including any decorative displays and/or facilities for public viewing;
- (e) Temporary access arrangements to the site, and any temporary hard-standing;
- (f) A plan indicated the preferred haulage routes across Victoria Park;

**Reason:** To safeguard the amenity of adjoining land uses and occupiers. This condition is applied in accordance with the National Planning Policy Framework, Policies CS13 and CS14 of the West Berkshire Core Strategy 2006-2026, and Policies OVS.5, OVS.6 and TRANS.1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007). A pre-commencement condition is required because the Site Access Plan must be adhered to during all demolition and construction operations.

### ***Informatives***

#### 1. Proactive

This decision has been made in a positive way to foster the delivery of sustainable development having regard to Development Plan policies and available guidance to secure high quality appropriate development. The local planning authority has worked proactively with the applicant to secure a development that improves the economic, social and environmental conditions of the area.

#### 2. CIL

The development hereby approved results in a requirement to make payments to the Council as part of the Community Infrastructure Levy (CIL) procedure. A Liability Notice setting out further details, and including the amount of CIL payable will be sent out separately from this Decision Notice. You are advised to read the Liability Notice and ensure that a Commencement Notice is submitted to the authority prior to the commencement of the development. Failure to submit the Commencement Notice will



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result in the loss of any exemptions claimed, and the loss of any right to pay by instalments, and additional costs to you in the form of surcharges. For further details see the website at [www.westberks.gov.uk/cil](http://www.westberks.gov.uk/cil)

**3. Groundwater**

A Groundwater Risk Management Permit from Thames Water will be required for discharging groundwater into a public sewer. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures he will undertake to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water’s Risk Management Team by telephoning 020 3577 9483 or by emailing [trade.effluent@thameswater.co.uk](mailto:trade.effluent@thameswater.co.uk). Application forms should be completed on line via [www.thameswater.co.uk](http://www.thameswater.co.uk). Please refer to the Wholesale; Business customers; Groundwater discharges section.

*(The meeting commenced at 6.30 pm and closed at 7.35 pm)*

**CHAIRMAN** .....

**Date of Signature** .....

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# Agenda Item 4.(1)

Item No.	Application No. and Parish	Statutory Target Date	Proposal, Location, Applicant
(1)	20/02779/COMIND Greenham	2 <sup>nd</sup> March 2021 <sup>1</sup>	<p>Section 73 variation of conditions 2 (plans), 3 (boundary treatments), 4 (hardscaping), 6 (BREEAM), 7 (external lighting), 9 (noise from services), 11 (sport England), 12 (travel plan), 13 (cycle and scooter parking), 17 (landscaping) and 24 (E V charging points) of approved 17/03434/COMIND -</p> <p>Construction of a new 1 FE single-storey primary school south of the existing Newbury College, with associated soft and hard landscaping. Construction of a temporary access to the school from the Newbury College site and a permanent access from the A339 to serve the allocated strategic housing site and form the permanent access to the school. Construction of bunds adjacent to the temporary and permanent access roads to prevent access from the roads to private land.</p> <p>Land South of Newbury College, Monks Lane, Newbury.</p> <p>Re-Format LLP on behalf of West Berkshire Council</p>

<sup>1</sup> Extension of time agreed with applicant until 13<sup>th</sup> August 2021

The application can be viewed on the Council's website at the following link:  
<http://planning.westberks.gov.uk/rpp/index.asp?caseref=20/02779/COMIND>

**Recommendation Summary:** To **DELEGATE** to the Head of Development and Planning to **GRANT PLANNING PERMISSION** subject to the schedule of conditions (Section 8).

**Ward Member(s):** Councillor David Marsh, Councillor Tony Vickers and Councillor Adrian Abbs.

**Reason for Committee Determination:** This is a major application and West Berkshire Council is the applicant.

**Committee Site Visit:** 24<sup>th</sup> June 2021

## Contact Officer Details

**Name:** Jake Brown  
**Job Title:** Principal Planning Officer  
**Tel No:** 01635 519111  
**Email:** jake.brown@westberks.gov.uk

## 1. Introduction

1.1 This application is made under section 73A of the Town and Country Planning Act 1990 (as amended) and seeks to vary conditions 2 (plans), 3 (boundary treatments), 4 (hardscaping), 6 (BREEAM), 7 (external lighting), 9 (noise from services), 11 (Sport England), 12 (travel plan), 13 (cycle and scooter parking), 17 (landscaping) and 24 (E V charging points) of permission 17/03434/COMIND that was granted on 16<sup>th</sup> March 2018.

1.2 The variations to the conditions seek to regularise the following changes to the previously approved scheme:

- Changes to the layout and boundary treatments approved under permission 17/03434/COMIND or by subsequent discharge of conditions applications, which include:
  - a reduction in the number of previously approved kiss and drop parking spaces from 13 to 7 upon the school being brought into use and a revised kiss and drop parking scheme introducing an additional 6 parking spaces (providing a total of 13 parking spaces) to be implemented at a later date together with associated landscaping and lighting changes;
  - the introduction of a 2 metre tall fence between the playing pitch for the 1 form entry school and the expansion land that would be required should the school increase to a 2 form entry primary school;
  - increased areas of hard standing around the school, in particular to the west of the school building between the building and the playing field and to the east ;
  - provision of a 2.4 metre tall fence around the entire multi use games area (MUGA) in the south-eastern corner of the application site;
  - provision of 1.2 metre tall palisade/picket fencing around the early years area to the east of the school building;
  - provision of 0.4 metre tall knee rail to the front (northern boundary of the school site);
  - relocation of the cycle/scooter store from the north-eastern corner of the application site to within the application site, west of the building;
  - the replacement of 2 metre tall fence along the northern and western boundary in the north-western corner of the application site with a 1.1 metre tall post and rail fence;
  - provision of bollards to the front of the school between the kiss and drop parking and the footpath;
- Reduction in the BREEAM Level achieved from Excellent to Very Good;
- The introduction of lighting to the footpath between Newbury College and the future A339 link road.
- Submission of details in respect of mechanical plant to address condition 9 of permission 17/03434/COMIND.
- Submission of details in respect of the construction of the playing field and MUGA to address condition 11 of permission 17/03434/COMIND.
- Submission of Travel Plan to satisfy condition 12 of permission 17/03434/COMIND.
- Submission of cycle and scooter parking and storage spaces to satisfy condition 13 of permission 17/03434/COMIND.
- Submission of landscaping details to satisfy condition 17 of permission 17/03434/COMIND.
- Provision of alternative electric vehicle charging points system.

1.3 The application site comprises a 1 form entry primary school that has now been constructed (with sufficient space/facilities to expand to a 2 form entry primary school in the future if required). The application site is located to the south of Newbury College and east of an ancient woodland, High Copse. To the south of the application site is a

balancing pond. An access road (link road from the A339 granted under permission 17/03434/COMIND) is currently under construction and is required by conditions 21 and 22 attached to permission 17/03434/COMIND to be completed within two years of the school opening and once completed the temporary vehicular access via Newbury College is to be stopped up. To the east of the application site is an area of open space beyond which is the Household Waste Recycling Centre (HWRC).

## 2. Planning History

2.1 The table below outlines the relevant planning history of the application site.

Application	Proposal	Decision / Date
17/00158/COMIND	Construction of a new 1 F E single-storey primary school south of the existing Newbury College, with associated soft and hard landscaping. Construction of a temporary access to the school from the Newbury College site and a new permanent access from the A339 to serve the allocated strategic housing site and form the permanent access to the school.	Application approved 30/06/2017
17/01990/COND1	Application for approval of details reserved by conditions 3 finish floor levels, 4 spoil, 17 arboricultural watching brief, 20 construction method statement, 27 parking and turning, 28 electric charging points, 29 route for construction vehicles, and 32 drainage of approved application 17/00158/COMIND - Construction of a new 1 F E single-storey primary school south of the existing Newbury College, with associated soft and hard landscaping. Construction of a temporary access to the school from the Newbury College site and a new permanent access from the A339 to serve the allocated strategic housing site and form the permanent access to the school.	Split decision – part approved and part refused 27/09/2017
17/03434/COMIND	Construction of a new 1 FE single-storey primary school south of the existing Newbury College, with associated soft and hard landscaping. Construction of a temporary access to the school from the Newbury College site and a permanent access from the A339 to serve the allocated strategic housing site and form the permanent access to the school. Construction of bunds adjacent to the temporary and permanent access roads to prevent access from the roads to private land.	Application approved 16/3/2018

18/01341/COND1	Application for approval of details reserved by Conditions 23 - Parking and Turning Areas, 25 - Construction Traffic Access, 30 - Fire Hydrants and 31 - Drainage Strategy of planning permission 17/03434/COMIND.	Application approved 18/7/2018
18/01939/COND2	Application for approval of details reserved by Condition (5) - Materials of planning permission 17/03434/COMIND.	Application approved 3/10/2018

### 3. Procedural Matters

- 3.1 In accordance with the Town and Country Planning (Environmental Impact Assessment) Regulations 2017, the local planning authority (LPA) must adopt a screening opinion on any application for Schedule 2 development to determine whether the proposal constitutes EIA development, and therefore whether Environmental Impact Assessment (EIA) is required as part of the application.
- 3.2 A screening opinion was adopted following the submission of the application, confirming that the proposal is not considered EIA development and that an Environmental Statement is not required.
- 3.3 The application was advertised in Newbury Weekly News on 10<sup>th</sup> December 2020. The site notice expired on 8<sup>th</sup> January 2021.
- 3.4 The development is not subject to Community Infrastructure Levy.

### 4. Consultation

#### ***Statutory and non-statutory consultation***

- 4.1 The table below summarises the consultation responses received during the consideration of the application. The full responses may be viewed with the application documents on the Council's website, using the link at the start of this report.

<b>Greenham Parish Council:</b>	Object unless the travel plan is revisited in the light of the changed highway services and amended in line, with the wishes of the school sponsor, which is Newbury College.
<b>Greenham Parish Council (following additional and amended information):</b>	Any response received will be provided in the update sheet.
<b>Newbury Town Council:</b>	Resolved that the Committee reject the proposal based on the new travel plan. The current arrangements should also be retained. Any travel plan needs to allow for a right turn from the A339 for south-bound traffic.

<b>Newbury Town Council (following additional and amended information):</b>	Any response received will be provided in the update sheet.
<b>Sport England:</b>	<p>Object to variation of condition 3 (boundary treatment). Require justification for the proposed fence splitting the school site and crossing over the running track which is indicated as no longer being provided. Also require details of the construction and drainage for the MUGA, the hard surfaced play area in the south eastern corner of the school site in respect of condition 4 (hard standing).</p> <p>No objections to details submitted in respect of grass playing pitch (condition 11).</p>
<b>Sport England (following additional and amended information):</b>	<p>In respect to the fencing, I note what is said about the PD, however, the application is for variation of condition and we do not support this. I accept and respect the position of WBC planning department's position on this. Sport England would be failing in its role to protect playing fields if we did not maintain our objection to the application for the variation of condition 3.</p> <p>It should be noted by the applicant, that given the shortages of playing field in WBC we will object to any use of the land which results in the loss of the playing field.</p>
<b>WBC Highways:</b>	Object to hardscaping and landscaping plans showing reduction in kiss and drop parking provision.
<b>WBC Highways (following additional and amended information):</b>	Object to reduction in kiss and drop parking provision.
<b>WBC Highways (following additional and amended information):</b>	Any response received will be provided in the update sheet.
<b>WBC Waste Services:</b>	No objections.
<b>WBC Environmental Health:</b>	No objections.
<b>WBC Archaeology:</b>	No further archaeological work is needed for this proposal.
<b>WBC Housing:</b>	No objections.

<b>SPOKES:</b>	No comments on this application.
<b>Forestry Commission:</b>	See standing advice regarding ancient woodland.
<b>WBC Conservation Officer:</b>	No objections.
<b>Natural England:</b>	No objections.
<b>Ministry of Defence:</b>	No objections.
<b>Transport Policy:</b>	Require amendments to travel plan to make it acceptable.
<b>Transport Policy (following additional and amended information):</b>	Recommend that the Travel Plan be approved and the relevant condition (12) be discharged
<b>Ward Member:</b>	No response received.
<b>Thames Water:</b>	No response received.
<b>WBC Access Officer:</b>	No response received.
<b>WBC Drainage Officer:</b>	No response received.
<b>WBC Tree Officer:</b>	No response received.
<b>WBC Tree Officer (following additional and amended information):</b>	Any response received will be provided in the update sheet.
<b>WBC Education Service:</b>	No response received.
<b>WBC Education Service (following additional and amended information):</b>	Any response received will be provided in the update sheet.
<b>Berkshire Gardens Trust:</b>	No response received.



<b>Royal Berkshire Fire and Rescue Service:</b>	No response received.
<b>Thames Valley Police:</b>	No response received.
<b>WBC Planning Policy:</b>	No response received.
<b>WBC Ecologist:</b>	No response received.
<b>BBOWT:</b>	No response received.
<b>Woodland Trust:</b>	No response received.

### ***Public representations***

- 4.2 1 representation has been received objecting to the proposal.
- 4.3 The full response may be viewed with the application documents on the Council's website, using the link at the start of this report. In summary, the following issues/points have been raised:
- Access road to be used into the development at Sandleford;
  - No need for housing on greenfield site;
  - Lack of sufficient infrastructure;
  - Impact on biodiversity;
  - Application for a school already constructed.

## **5. Planning Policy**

- 5.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The following policies of the statutory development plan are relevant to the consideration of this application.
- Policies ADPP1, ADPP2, CS5, CS13, CS14, CS15, CS16, CS17, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026 (WBCS).
  - Policy C1 of the Housing Site Allocations Development Plan Document 2006-2026 (HSA DPD).
  - Policies OVS.5, OVS.6, TRANS.1 and ENV27 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).
- 5.2 The following material considerations are relevant to the consideration of this application:
- National Planning Policy Framework (NPPF)
  - Planning Practice Guidance (PPG)
  - Quality Design SPD (2006)
  - Planning Obligations SPD (2015)
  - West Berkshire Local Transport Plan

- Greenham Parish Plan (2011).

## 6. Appraisal

6.1 The main issues for consideration in this application are:

- Principle of development;
- Impact on Parking Provision and Highway Matters;
- Alterations to Hardstanding, Boundary Treatments and Impact on Playing Pitch Provision;
- Reduction in the BREEAM Level;
- External Lighting;
- Noise from Services;
- Playing Pitch and MUGA Construction Details;
- Travel Plan;
- Cycle and Scooter Parking;
- Landscaping;
- Electric Vehicle Charging.

### ***Principle of development***

6.2 The school has been constructed and is substantially completed with the intention to open in the autumn. The access road is currently under construction. The principle of the development of a primary school and access road was established under the previous permissions (17/00158/COMIND and 17/03434/COMIND) and there has been no material change in policy or legislation since that would alter this position.

6.3 The principle of the development is therefore considered acceptable, subject to its compliance with other planning policies and material planning considerations.

### ***Impact on Parking Provision and Highway Matters***

6.4 As part of the amendments to the previously approved scheme, the development as built reduces the number of kiss and drop parking spaces within the school grounds from 13 to 7. This is as a result of the kiss and drop parking spaces on the northern side of the vehicle access route within the school grounds being removed and the landscaped area between the northern fence and the vehicular access being increased.

6.5 The applicants have advised that following a review of the previously approved kiss and drop arrangement with the Health and Safety Team at West Berkshire Council and the Academy Trust in charge of running the school concerns were raised over the ability to safely manage the previously approved arrangement.

6.6 The applicant considers that the previously approved arrangement would not enable parents to plan which side their children would be exiting the vehicle, as is the case experienced at other kiss and drop facilities in the District (Theale Primary School). Vehicles parking on the northern side of the vehicle access road through the school site could result in children exiting those vehicles into oncoming traffic or having to cross in front of oncoming traffic.

6.7 The applicant considers that the previously approved layout, combined with the fact that the children attending the school would be between 4 and 11 years of age, raises the risk of an accident occurring. Management of the kiss and drop process may reduce that risk but would require significant staff resourcing. As the school is planned to grow from the bottom upwards, with 30 pupils per year, in the first year there will be only three

members of staff. The applicant considers that even with three members of staff it will be a challenge to manage a kiss and drop facility on the southern side of the access road only, let alone the northern side should that also be required.

- 6.8 The applicant has also advised that within the school gates, the legal safeguarding of children transfers from parents to the school. As such it is of concern that if the kiss and drop arrangement is installed in accordance with the previously approved scheme, the school will choose not to use it because of the risks and management issues.
- 6.9 As part of the previously approved scheme, the access road (link to A339) widens to 7 metres at the western end, beyond the access points to the school, for approximately 90 metres that enables approximately 18 vehicles to also park on the link road to drop/collect children without significantly encroaching on the movement of vehicles along the access road. That provision remains and would not be altered by this application.
- 6.10 The Highways Officer initially raised objections to the loss of the number of kiss and drop parking spaces and maintained that objection following the submission of additional information by the applicant advising of health and safety and management issues with the previously approved kiss and drop arrangement. Following discussions between the applicant and the Local Highway Authority a revised kiss and drop parking scheme was submitted. This revised scheme which retains the existing 7 spaces on the southern side of the access route through the school grounds but now proposes to re-introduce an additional 6 spaces to the northern side - requiring the loss of the existing landscaped area and relocation of six trees and lampposts north of the school fence – at a later date after the school has been brought into use. That proposed arrangement is currently being reviewed by the Highways Officer at the time of writing the report. Any comments from the Highways Officer, Greenham Parish Council or Newbury Town Council will be provided in the update sheet at the committee meeting.
- 6.11 The school is to be opened on 2<sup>nd</sup> September 2021 and will be occupied from the bottom up with 30 pupils in the first year, 60 pupils in the second year, 90 pupils in the third year and 120 pupils in the fourth year. Due to the incremental increase in the number of pupils attending the school, and following discussions with the Highways Officer, it is anticipated that the existing 7 kiss and drop parking spaces would be sufficient until the school is occupied by 120 pupils in the fourth year of operation. Therefore, it is proposed that the current kiss and drop parking provision of 7 spaces remains in place and the additional 6 parking spaces are required to be implemented prior to the fourth year of occupation of the school. This arrangement can be secured by varying the relevant conditions relating to parking and hard and soft landscaping to require implementation of the additional kiss and drop parking spaces prior to 1<sup>st</sup> September 2025.
- 6.12 With the proposed additional kiss and drop spaces and associated landscape and lighting changes being delivered prior to the fourth year of the school being brought into use, it is considered that sufficient kiss and drop parking provision will be in place, at the right time, to address any concerns regarding highway safety.

### ***Alterations to Hardstanding, Boundary Treatments and Impact on Playing Pitch Provision***

- 6.13 As part of this application the applicants are seeking amendments to the boundary treatments from that previously approved. Changes to the boundary treatment arrangements include:
- the introduction of a 2 metre tall fence between the playing pitch for the 1 form entry school and the expansion land that would be required should the school increase to a 2 form entry primary school;

- provision of a 2.4 metre tall fence around the entire multi use games area (MUGA) in the south-eastern corner of the application site;
- provision of 1.2 metre tall palisade/picket fencing around the early years area to the east of the school building;
- provision of 0.4 metre tall knee rail to the front (northern boundary of the school site);
- the removal of 4 metre tall sports fencing on the eastern side of the playing pitch;
- the introduction of 1.1 metre tall timber post and rail fence between the playing pitch and MUGA to restrict access from the south;
- minor alterations to the arrangement of timber post and rail fencing within the eastern part of the school grounds serving the early years area;
- the replacement of 2 metre tall fence along the northern and western boundary in the north-western corner of the application site with a 1.1 metre tall post and rail fence.

- 6.14 It is important to note that the school benefits from permitted development rights under the Town and Country (General Permitted Development) (England) Order 2015 (as amended) which enables them to erect fencing up to 2 metres in height within the school grounds without the need for planning permission.
- 6.15 Aside from the provision of a 2.4 metre tall fence around the entire MUGA in the south-eastern corner of the school grounds (the previously approved scheme only proposed a 2.4 metre tall fence to the southern and eastern boundaries of the MUGA), all other proposed amendments to the boundary treatments would be allowed under permitted development legislation.
- 6.16 As part of the proposed amendments to the boundary treatments, a 2 metre tall green weldmesh fence is to be erected to the north of the marked playing pitch, separating the playing pitch from open land in the north-western corner of the school grounds. The parcel of land to be fenced off in the north-western corner of the school grounds as a result of this new fencing is only required should the school expand to a 2 form entry primary school in the future, as set out in the Design and Access Statement submitted for application 17/00158/COMIND.
- 6.17 Sport England have raised an objection to this particular proposed fencing as they consider it to split the playing field into two and impede the running track indicated on previous plans. Sport England consider that there is insufficient justification for the fence and note that no gate is proposed into the north west corner of the school grounds that is to be fenced off. Sport England advise that they consider the erection of the fence to indicate that the applicants are closing off playing field in preparation for the sale of the land after 5 years when Sport England is no longer a statutory consultee.
- 6.18 The objection from Sport England is noted, however, the fall-back position for the applicants is the ability to erect the fencing proposed without the need for planning permission under Town and Country (General Permitted Development) (England) Order 2015 (as amended). Furthermore, the area of land to be fenced off is only required in spatial terms should the school expand to a 2 form entry primary school in the future. Sufficient play provision for a 1 form entry primary school is provided by the existing playing pitch and areas for play outside of this parcel of land. As such it would be unreasonable to refuse the application on the basis of the objection from Sport England.
- 6.19 None of the proposed alterations to the boundary treatments give rise to concerns in respect of impact on the character and appearance of the area or neighbouring amenities and therefore are considered acceptable. Furthermore, the proposed

changes to the hardstanding surrounding the school building are considered to be minor and would not detrimentally harm the character and appearance of the area.

### ***Reduction in the BREEAM Level***

- 6.20 The previous permissions granted imposed a condition requiring the school to achieve BREEAM Excellent in accordance with Policy CS15 of the Core Strategy and BREEAM pre-assessments at that time anticipated that Excellent would be achieved. A further subsequent design stage assessment achieved a certificate score of 70% which is the minimum score necessary to achieve BREEAM Excellent, providing no buffer.
- 6.21 However, during the construction of the school the contractors responsible for constructing the school went into administration, resulting in the loss of data relating to construction waste that were relied upon to demonstrate the attainment of BREEAM Excellent as required by condition 6 of permission 17/03434/COMIND. As such, credits relating to construction waste can no longer be achieved.
- 6.22 Therefore, the BREEAM level that is now able to be achieved for this development is Very Good. The applicants have reviewed whether it would be possible to increase other credits to compensate for the reduction in BREEAM attainment, however, it is shown that it would not be possible and therefore a score greater than Very Good can no longer be achieved.
- 6.23 It is unfortunate that BREEAM Excellent level can no longer be attained due to the administration of the previous contractor and this runs contrary to Policy CS15 of the Core Strategy. However, whilst this conflict with Policy CS15 occurs this must be considered against the Local Plan as a whole and the benefits of delivering a new school. Therefore an amendment to condition 6 to require the development to achieve BREEAM Very Good is, in this instance, considered acceptable.

### ***External Lighting***

- 6.24 This application seeks to introduce new lighting along the temporary vehicle route from Newbury College which, once the new A339 link road has been completed and brought into use, will be stopped up to vehicles but retained for use by pedestrians and cyclists only. Lighting in this location is sought to provide safe access for parents, children and others during the hours of darkness. Two types of lighting have been proposed along this route, bollard or column lighting. The bollard lighting design would comprise 19 bollards of 1.04 metres in height and one 5 metre tall column light. The column lighting only design would comprise 7 columns 5 metres tall.
- 6.25 The applicants consider that the column lighting solution only would be preferable due to the reduced risk of vandalism to those types of lights. It is considered that either solution for lighting this route would be acceptable and not introduce any significant detrimental impacts on the character and appearance of the area, neighbouring amenities or biodiversity. As such condition 7 of permission 17/03434/COMIND is recommended to be amended to enable either lighting option in this location to be erected. The condition will also be amended to account for the new kiss and drop parking arrangement proposed to be implemented at a later date which will require the minor re-location of column lights within the school grounds.

### ***Noise from Services***

- 6.26 Condition 9 attached to permission 17/03434/COMIND required details of any plant or mechanical services to be submitted to and approved in writing by the Local planning Authority prior to their installation.

- 6.27 Details of the mechanical air handling plant and chillers have been submitted together with the necessary information regarding noise and have been assessed by the Environmental Health Officer who raises no objections.
- 6.28 The positioning of some of the mechanical plant located on the roof of the school building has altered from that previously approved and as a result amended elevation plans and an amended roof plan have been submitted.
- 6.29 The details of mechanical air handling plant and chillers and their amended locations on the building are not considered to detrimentally harm the character and appearance of the area or neighbouring amenities.

### ***Playing Pitch and MUGA Construction Details***

- 6.30 Condition 11 of planning permission 17/03434/COMIND requires details of the construction and management plan for the playing pitches to be submitted to and approved in writing by the Local Planning Authority prior to the school being brought into use. Construction, drainage and management details for the playing pitch and MUGA have been provided and reviewed by Sport England who previously requested this condition and are considered acceptable.
- 6.31 Therefore, condition 11 can be amended accordingly to ensure the construction of the playing pitch and MUGA and their maintenance are in accordance with the approved details.

### ***Travel Plan***

- 6.32 Condition 12 of permission 17/03434/COMIND required the submission and approval of a travel plan for the school prior to the school being brought into use. A travel plan was submitted with this application and concerns were raised by the Transport Policy Officer who required amendments to that plan. Amendments were made to the travel plan accordingly and the revised travel plan has been agreed by the Transport Policy Officer.
- 6.33 Greenham Parish Council raised objections to the original travel plan advising that they considered the travel plan required amendment in light of the changed highway services and in line with the wishes of the school sponsor, Newbury College.
- 6.34 Newbury Town Council, as the adjacent parish council were also consulted and objected to the original travel plan submitted, requesting that the current arrangements would be retained and that any travel plan needs to allow for a right turn from the A339 for southbound traffic. The arrangement of the junction onto the A339 was approved under permission 17/03434/COMIND and is not a matter for consideration under the travel plan or this application.
- 6.35 Both Councils were re-consulted in respect of the revised travel plan submitted to which neither council has provided any comments at the time of writing this report.
- 6.36 The revised travel plan is considered acceptable and condition 12 can be amended accordingly to secure adherence to the revised travel plan.

### ***Cycle and Scooter Parking***

- 6.37 Condition 13 of permission 17/03434/COMIND required details of the cycle and scooter parking and storage to be submitted to and approved in writing by the Local Planning Authority prior to the school being brought into use. Plans submitted with permission

17/03434/COMIND indicated that the cycle and scooter parking would be located in the north-eastern corner of the school grounds, adjacent to the pedestrian entrance.

- 6.38 Details submitted with this application relocate the proposed cycle and scooter parking further within the school grounds, behind the internal secure 2 metre tall fencing, to the west of the school building. The cycle/scooter parking provision would comprise a covered area of Sheffield type racks and a covered area of scooter racks.
- 6.39 The details are considered acceptable and are not considered to detrimentally harm the character and appearance of the area or neighbouring amenities.

### ***Landscaping***

- 6.40 Condition 17 of permission 17/03434/COMIND required details of a detailed landscaping scheme and management plan to be submitted to and approved in writing by the Local Planning Authority prior to the school being brought into use.
- 6.41 Detailed planting plans have been submitted. The Tree Officer was consulted on the application but no response has been received.
- 6.42 Having reviewed the planting details submitted together with the landscape management plan proposed your officers consider the submissions sufficient to ensure the appropriate landscaping and management for the development.
- 6.43 As a result of further proposals for 6 additional kiss and drop parking spaces to be provided prior to the fourth year of the school being brought into use, the landscaping area on the northern side of the access road through the school site, south of the school boundary will be altered. Six trees planted within this area are to be re-located to the northern side of the school boundary and the three lighting columns are to be relocated immediately adjacent to the boundary fence. The loss of a small area of landscaping and the relocation of tree are not considered to detrimentally impact on the character and appearance of the area.
- 6.44 Therefore, the landscaping details are considered acceptable and condition 17 can be amended accordingly to ensure the provision and management of landscaping.

### ***Electric Vehicle Charging Points***

- 6.45 Details submitted in respect of electric vehicle charging for the previous permission (17/03434/COMIND) were secured by condition 17 attached to that permission and required the installation of an electric vehicle recharging system provided by POD Point.
- 6.46 Since that approval it has come to light that the POD Point charging system would have tied the school into a public register of charging points, which could bring the public into the school to use the chargers and thereby use up limited staff parking. It would also have required the school to manage the scheme. As such the applicants are now seeking approval for an alternative electric vehicle charging system and request that the condition is amended to accommodate an equivalent alternative system. No change to the number of electric vehicle charging points is proposed and having visited the site your officers can confirm that electric vehicles charging points for use by staff in the staff parking area have been erected, providing sufficient EV charging points in line with that previously approved.
- 6.47 Furthermore, the applicant has confirmed that the alternative electric vehicle charging points that have been installed have an output of 7.2kW which is comparable to the previously approved charging point system which provided 7kw output.

6.48 Therefore, the electric vehicle charging condition can be amended accordingly to accommodate the alternative charging points installed.

## 7. Planning Balance and Conclusion

- 7.1 Aside from the reduction in BREEAM from Excellent to Very Good, the proposed amendments to the previously approved scheme and variations to the relevant conditions are considered to accord with the Development Plan.
- 7.2 The reduction in BREEAM from Excellent to Very Good, whilst not in accordance with Policy CS15 of the Core Strategy, is justified in this instance. The public benefit of the provision of a new school and the material consideration for the reason as to why BREEAM Excellent can no longer be achieved. Are considered to outweigh the conflict identified with Policy CS15.
- 7.3 The Highways Officer's initial concerns regarding the reduction in kiss and drop parking provision are recognised and to address those concerns further proposals were submitted. On the basis that the additional 6 kiss and drop parking spaces are provided by September 2025, it is considered that sufficient kiss and drop parking would be achieved.
- 7.4 It is important to note that the school is currently only permitted as a 1 form entry school and further permission would be required to expand the school to a 2 form entry primary school. Should additional kiss and drop parking spaces be required at that stage they can be dealt with under a future application for expanding the school to 2 form entry.
- 7.5 Sport England's concerns regarding the fencing off of land are noted. However that land is not required for a 1 form entry school and the fencing proposed can be installed under permitted development rights.
- 7.6 Therefore, the application as amended is considered acceptable subject to the variation of conditions as set out in section 8 below.

## 8. Full Recommendation

- 8.1 To delegate to the Head of Development and Planning to GRANT PLANNING PERMISSION subject to the conditions listed below.

### **Conditions**

1.	<p><b>Approved Plans</b></p> <p>The development hereby permitted shall be carried out in accordance with the approved plans and documents listed below:</p> <ul style="list-style-type: none"><li>• Site Location and Existing Site Plan drawing number PL 002 rev. C;</li><li>• Landscape Proposals General Arrangement drawing number 1967-TF-00-00-DR-L-1001 Rev 13;</li><li>• Proposed Ground Floor drawing number PL004 rev. 1;</li><li>• Roof Plan drawing number 18026-RFT-00-01-DR-A-0202 Rev CR2;</li><li>• Sections drawing number PL007 rev. 1;</li><li>• Elevations drawing number 18026-RFT-00-ZZ-DR-A-0300 Rev CR2;</li><li>• Elevations drawing number 18026-RFT-00-ZZ-DR-A-0301 Rev CR2;</li><li>• Proposed Road Layout Signals drawing number PL011-27599-010 rev. B;</li></ul>
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	<ul style="list-style-type: none"> <li>• Site Sections Plan drawing number 1967-TF-00-00-DR-L-5001 Rev 6;</li> <li>• Site Sections Plan drawing number 1967-TF-00-00-DR-L-5002 Rev C02;</li> <li>• Tree Retention &amp; Protection Plan drawing number LLD919/04 rev. 04;</li> <li>• Boundary Plan drawing number 1967-TF-00-00-DR-L-1003 Rev 04;</li> <li>• External Lighting Plan drawing number 180730/001/E08;</li> <li>• Hard Landscape and Fencing Plan drawing number 1967-TF-00-00-DR-L-2001 Rev 10;</li> <li>• Hard Landscape and Fencing Plan drawing number 1967-TF-00-00-DR-L-2002 Rev 04;</li> <li>• Hard Landscape and Fencing Plan drawing number 1967-TF-00-00-DR-L-2003 Rev 02;</li> <li>• Foul and Surface water Drainage (Sheet 1 of 3) drawing number 101:1 rev. P3;</li> <li>• Foul and Surface water Drainage (Sheet 2 of 3) drawing number 101:2 rev. P1;</li> <li>• Foul and Surface water Drainage (Sheet 3 of 3) drawing number 101:3 rev. P1;</li> <li>• Kiss and drop arrangement drawing number 1967-TF-XX-00-SK-L-20210723-05 received on 26<sup>th</sup> June 2021, the implementation of which is secured by condition 20.</li> </ul> <p>Reason: For the avoidance of doubt and in the interest of proper planning.</p>
2.	<p><b>Boundary Treatments</b></p> <p>The school hereby approved shall not be bought into use until the boundary treatments, to include external boundaries around the site and internal boundaries within the site, have been erected in accordance with the details shown on drawing numbers 1967-TF-00-00-DR-L-1003 Rev 04, 1967-TF-00-00-DR-L-2001 Rev 10, 1967-TF-00-00-DR-L-2002 Rev 04 and 1967-TF-00-00-DR-L-2003 Rev 02. The boundary treatments shall thereafter be retained in accordance with the approved details.</p> <p>Reason: The boundary treatments are an important element in the design of the scheme. This condition is imposed in accordance with the National Planning Policy Framework (March 2012), Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026) and Supplementary Planning Document Quality Design (June 2006).</p>
3	<p><b>Hardstanding</b></p> <p>The school hereby approved shall not be bought into use until the areas of hard standing have been constructed in accordance with the details shown on drawing numbers 1967-TF-00-00-DR-L-2001 Rev 10, 1967-TF-00-00-DR-L-2002 Rev 04 and 1967-TF-00-00-DR-L-2003 Rev 02. The areas of hard surfacing shall thereafter be retained in accordance with the approved details with the exception of the kiss and drop parking area to be provided by condition 20 which is to be retained in accordance with that condition upon implementation.</p> <p>Reason: The areas of hardstanding are an important element of the design of the scheme. This condition is imposed in accordance with the National Planning Policy Framework (March 2012), Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026) and Supplementary Planning Document Quality Design (June 2006).</p>
4	<p><b>BREEAM</b></p>

	<p>Evidence confirming that the development achieves a BREEAM Education rating of Very Good shall be submitted to the Local Planning Authority. The evidence required shall be provided in the following formats and at the following times unless otherwise agreed in writing by the Local Planning Authority:</p> <p>1) Evidence of Submission to the BRE for a Post Construction Final Certificate shall be provided within 8 weeks of Occupation of the building.</p> <p>2) A copy of the Final Certificate certifying that BREEAM Very Good has been achieved for the development, shall be provided within 12 Months of Occupation of the building.</p> <p>Reason: To ensure the development contributes to sustainable construction. This condition is imposed in accordance with the National Planning Policy Framework (March 2012), Policy CS15 of the West Berkshire Core Strategy (2006-2026) and Supplementary Planning Document Quality Design (June 2006).</p>
5	<p><b>External Lighting</b></p> <p>The school hereby approved shall not be brought into use until the external lighting to be used around the school and on the access road has been installed in accordance with drawing number 180730/001/E08 and either, drawing number D41196(003)/PMU/A (bollard lighting) and datasheet Deco 2.0, or, drawing number D41196(003)/PMU/ARF (column lighting) and datasheet Viva-City Pro. No external lighting shall be installed on the building or across the site except for that expressly authorised by the approval of details as part of this condition. The approved external lighting shall thereafter be retained with the exception of the lighting adjacent to the kiss and drop parking area to be provided by condition 20 upon implementation of that scheme. The re-located lighting columns within the school grounds following the implementation of the new kiss and drop parking arrangement will be thereafter retained.</p> <p>Reason: To have regard to the setting of the development and to protect the amenity of neighbouring occupiers and wildlife. This condition is imposed in accordance with the National Planning Policy Framework (March 2012), Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026) and Supplementary Planning Document Quality Design (June 2006).</p>
6	<p><b>Contamination</b></p> <p>Should any unforeseen contamination be encountered during the development, the developer shall inform the Local Planning Authority immediately. Any subsequent investigation/remedial/protective works deemed necessary by the Local Planning Authority shall be carried out to agreed timescales and approved by the Local Planning Authority in writing. If no contamination is encountered during the development, a letter confirming this fact shall be submitted to the Local Planning Authority upon completion of the development.</p> <p>Reason: In order to protect the amenities of futures users of the site in accordance with Policy OVS.5 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007) and the guidance within the National Planning Policy Framework.</p>
7	<p><b>Mechanical Plant</b></p> <p>The school hereby approved shall not be brought into use until the mechanical air handling plant and chillers have been installed in accordance with the following details:</p> <ul style="list-style-type: none"> <li>• Attenuator Drawings dated 3/6/2020;</li> </ul>

	<ul style="list-style-type: none"> <li>• Hall AHU Summary Fan Data Sheet;</li> <li>• i-Max Chiller Heat Pumps;</li> <li>• Kitchen Extract Summary Fan Data Sheet;</li> <li>• Kitchen Supply AHU Summary Fan Data Sheet;</li> <li>• Maxa i-HP Data Sheet;</li> <li>• Maxa i-HP Performance Tables;</li> <li>• MSY-TP35V Comms Room System data sheet;</li> <li>• MTS001-ASHP-AC data sheet;</li> <li>• Noise Assessment dated 12<sup>th</sup> June 2020;</li> <li>• PLA-ZM50 Cassette IT Suite System;</li> <li>• Roof Plant Layout Plan drawing number LO-Y34-R1-50-01 Rev C1.</li> </ul> <p>Noise resulting from any other plant, machinery or equipment to be installed shall not exceed a level of 5dB(A) below the existing background level (or 10dB(A) below if there is a particular tonal quality) when measured according to British Standard BS4142, at a point one metre external to the nearest noise sensitive premises.</p> <p>Reason : In the interests of the amenities of neighbouring occupiers in accordance with Policy OVS5 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007) and Policy CS14 of the West Berkshire Core Strategy 2006-2026 and the guidance within the National Planning Policy Framework.</p>
8	<p><b>Construction Hours of Work</b></p> <p>No construction works shall take place outside the following hours: 7.30 am to 6.00 p.m. on Mondays to Fridays 8.30 am to 1.00 p.m. on Saturdays and no work shall be carried out on Sundays or Bank Holidays.</p> <p>Reason: In the interests of the amenities of neighbouring occupiers in accordance with Policy CS14 of the West Berkshire Core Strategy 2006-2026 and the guidance within the National Planning Policy Framework.</p>
9	<p><b>Playing Field Construction</b></p> <p>The school hereby approved shall not be brought into use until the playing field and MUGA within the school site have been provided in accordance with drawing numbers HWC-MAC-DR-L(90)100 Rev C01, HWC-MAC-DR-L(90)101 Rev C01, HWC-MAC-DR-L(90)102 Rev C02, HWC-MAC-DR-L(90)103 Rev C02, HWC-MAC-XX-XX-RP-L1000 and 1967-TF-00-00-DR-L-4001.</p> <p>The playing field and MUGA shall thereafter be provided and maintained in accordance with the approved details.</p> <p>Reason: To ensure the quality of the pitches is satisfactory, in accordance with Policy CS18 of the West Berkshire Core Strategy 2006-2026 and the guidance within the National Planning Policy Framework.</p>
10	<p><b>Travel Plan</b></p> <p>The Travel Plan received on 26<sup>th</sup> May 2021 shall be implemented as approved on commencement of the use as a school and its provisions shall continue to be implemented thereafter.</p> <p>Reason: To ensure the efficient function of the site and to promote sustainable forms of transport. This condition is imposed in accordance with the National Planning Policy Framework, Policy CS13 of the West Berkshire Core Strategy 2006-2026,</p>

	and Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).
11	<p><b>Cycle and Scooter Parking</b></p> <p>The school shall not be brought into use until the cycle and scooter parking and storage spaces have been provided in the location shown on drawing number 1967-TF-00-00-DR-L-1003 in accordance with drawing numbers SK00714 Rev A and BXMW-SJ-1.02[A] and the spaces shall be retained for this purpose at all times.</p> <p>Reason: To ensure that there is adequate and safe cycle and scooter storage spaces within the site. This condition is imposed in accordance with the National Planning Policy Framework, Policy CS13 of the West Berkshire Core Strategy 2006-2026 and Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).</p>
12	<p><b>Tree Protection</b></p> <p>Protective fencing shall be implemented and retained intact for the duration of the development in accordance with the tree and landscape protection scheme identified on approved drawing number LLD919/04 rev. 04. Within the fenced areas, there shall be no excavations, storage of materials or machinery, parking of vehicles or fires.</p> <p>Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with the objectives of the National Planning Policy Framework and Policies CS14, CS18 and CS19 of West Berkshire Core Strategy 2006-2026.</p>
13	<p><b>Arboricultural Watching Brief</b></p> <p>The development (including site clearance and any other preparatory works) shall be carried out in accordance with the Arboricultural Supervision 'Watching Brief', dated 12th July 2017 produced by Lizard Landscape Design and Ecology and Supplementary letter reference - LLD1220/KM/14.08.2017.</p> <p>Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with the objectives of the National Planning Policy Framework and Policies CS14, CS18 and CS19 of West Berkshire Core Strategy 2006-2026.</p>
14	<p><b>Tree Retention</b></p> <p>No trees, shrubs or hedges shown as being retained on the Tree Retention &amp; Protection Plan (drawing number LLD919/04 rev. 04) shall be pruned, cut back, felled, wilfully damaged or destroyed in any way without the prior consent of the local planning authority. Any trees, shrubs or hedges felled, removed or destroyed, or any that die, become seriously damaged or diseased within five years from completion of the approved development, shall be replaced with the same species in the next planting season unless the Local Planning Authority gives written consent for any subsequent variation.</p> <p>Reason: To ensure the enhancement of the development by the retention of existing trees and natural features during the construction phase in accordance with the objectives of the National Planning Policy Framework and Policies CS14, CS18 and CS19 of West Berkshire Core Strategy 2006-2026.</p>

15	<p><b>Landscaping</b></p> <p>The Landscaping Scheme shall be implemented in full in accordance with drawing numbers 1967-TF-00-00-DR-L-3002 Rev 05, 1967-TF-00-00-DR-L-1005 Rev 01 and 1967-TF-00-00-DR-L-3001 Rev 04 including the planting of a wildflower mix on the proposed bunds and will be managed and maintained in accordance with the Landscape Management Plan (ref: 1967-TF-00-ZZ-RE-L-8001), with the exception of the landscaping adjacent to the kiss and drop parking area to be provided by condition 20 which is to be managed and maintained in accordance with the Landscape Management Plan (ref: 1967-TF-00-ZZ-RE-L-8001) once that additional kiss and drop parking has been implemented in accordance with condition 20.</p> <p>Reason: To ensure an acceptable landscaping scheme is implemented and managed and maintained in accordance with the objectives of the National Planning Policy Framework and Policies CS14, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026.</p>
16	<p><b>Construction Management Plan</b></p> <p>The demolition and construction works shall incorporate and be undertaken in accordance with the approved Construction Management Plan and addendum dated February 2018.</p> <p>Reason: To safeguard the amenity of adjoining land uses and occupiers, and in the interests of highway safety. This condition is imposed in accordance with the National Planning Policy Framework, Policy CS14 of the West Berkshire Core Strategy 2006-2026 and Supplementary Planning Document Quality Design (June 2006).</p>

17	<p><b>Access Contribution</b></p> <p>Prior to the new access from the A339 being brought into use, the applicant shall enter into a Legal Agreement to secure a contribution of £142,872 towards highways mitigation works.</p> <p>Reason: To ensure adequate mitigation to accommodate additional traffic on the A339. This condition is imposed in accordance with the National Planning Policy Framework and Policies CS13 and CS14 of the West Berkshire Core Strategy 2006-2026.</p>
18	<p><b>Stopping Up of Temporary Access Road to Vehicles</b></p> <p>Upon completion of the access onto the A339, the existing vehicular access serving the school via Newbury College shall be stopped up to all vehicles at a location south of Newbury College.</p> <p>Reason: In the interest of avoiding excessive traffic congestion upon the Monks Lane / Newtown Road Roundabout. This condition is imposed in accordance with the National Planning Policy Framework and Policy CS13 of the West Berkshire Core Strategy 2006-2026.</p>
19	<p><b>A339 Link Road</b></p> <p>Within two years of the school opening, the vehicular, pedestrian and cycle access via the A339 and associated engineering operations shall be constructed in accordance with the approved drawings.</p> <p>Reason: To ensure that the A339 access into the site is constructed before the school intake increases beyond an acceptable level capable of being served via the Newbury College access in the interest of highway safety and in the interest of avoiding excessive traffic congestion upon the Monks Lane / Newtown Road Roundabout. This condition is imposed in accordance with the National Planning Policy Framework and Policy CS13 of the West Berkshire Core Strategy 2006-2026.</p>
20	<p><b>Vehicle Parking and Turning</b></p> <p>The use of the school hereby approved shall not commence until the vehicle parking and turning spaces/areas have been provided in accordance with drawing number 1967-TF-00-00-DR-L-1001. The parking and/or turning space shall thereafter be kept available for parking (of private motor cars and/or light goods vehicles) at all times. Prior to the school term commencing in September 2025, the additional kiss and drop arrangement on the northern side of the access road through the school site as shown on drawing number 1967-TF-XX-00-SK-L-20210723-05 received on 26<sup>th</sup> June 2021 shall be implemented in full. The parking and/or turning space shall thereafter be kept available for parking (of private motor cars and/or light goods vehicles) at all times.</p> <p>Reason: To ensure the development is provided with adequate parking facilities in order to reduce the likelihood of roadside parking which would adversely affect road safety and the flow of traffic. This condition is imposed in accordance with the National Planning Policy Framework, Policy CS13 of the West Berkshire Core Strategy 2006-2026 and Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).</p>
21	<p><b>Electric Vehicle Charging Points</b></p>

	<p>The school hereby approved shall not be brought into use until the electric vehicle charging points have been delivered in accordance with the EV Charging points data sheets received 13<sup>th</sup> February 2018 or equivalent and shall remain available for the purpose of charging electric vehicles in association with the school at all times.</p> <p>Reason: To ensure the development provides for the use of ultra-low emission vehicles by users of the development. This condition is imposed in accordance with Policy CS13 of the West Berkshire Core Strategy 2006-2026, Policy P1 of the Housing Site Allocations DPD and policies LTP SC3, LTP P3 and LTP K5 all of the Local Transport Plan for West Berkshire (2011-2026).</p>
22	<p><b>Construction Traffic Access</b></p> <p>The development hereby approved shall be undertaken in accordance with the Construction Management Plan Rev G and Addendum, together with the email from Michael Thurlow dated 13<sup>th</sup> July 2018.</p> <p>Reason: To ensure that the access for construction traffic is provided in the interest of highway safety. This condition is imposed in accordance with the National Planning Policy Framework and Policy CS13 of the West Berkshire Core Strategy 2006-2026.</p>
23	<p><b>Drainage Strategy</b></p> <p>The school hereby approved shall not be brought into use until the drainage measures set out in drawing numbers 101:1 Rev P3, 101:2 rev P1 and 101:3 Rev P1 and the 'Impact Study on Existing Attenuation Basin' produced by Archibald Shaw as well as the Sewage Impact Study produced by Thames Water have been implemented in full.</p> <p>The sustainable drainage measures shall be maintained and managed in accordance with the approved details thereafter.</p> <p>Reason: To ensure that surface water and waste water will be managed in a sustainable manner; to prevent the increased risk of flooding and to improve and protect water quality and ensure future maintenance of the surface water drainage system can be, and is carried out in an appropriate and efficient manner. This condition is applied in accordance with the National Planning Policy Framework, Policies CS5 and CS16 of the West Berkshire Core Strategy 2006-2026, and Part 4 of Supplementary Planning Document Quality Design (June 2006).</p>
24	<p><b>Access Road SuDS</b></p> <p>Within one year of the school opening, a surface water drainage scheme for the proposed access into the site from the A339 to the western boundary shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall incorporate 'sustainable urban drainage' (SuDS) methods and attenuation measures, to restrict run-off from the site to no more than the equivalent greenfield rate, based on a 1 in 100 year storm plus 40% for possible climate change. The scheme shall also include measures to prevent any contamination from entering the soil or groundwater and an associated maintenance plan.</p> <p>The approved drainage scheme shall be implemented in accordance with the approved details before the vehicular, pedestrian and cycle access via the A339 is first brought into use or in accordance with a timetable to be submitted to and agreed in writing with the Local Planning Authority as part of the details submitted</p>

	<p>for this condition. The drainage scheme shall be maintained and managed in accordance with the approved details thereafter.</p> <p>Reason: To ensure that surface water will be managed in a sustainable manner; to prevent the increased risk of flooding and to improve and protect water quality and ensure future maintenance of the surface water drainage system can be, and is carried out in an appropriate and efficient manner. This condition is applied in accordance with the National Planning Policy Framework, Policy CS16 of the West Berkshire Core Strategy 2006-2026, and Part 4 of Supplementary Planning Document Quality Design (June 2006).</p>
25	<p><b>Ecology</b></p> <p>The development hereby approved shall be carried out in accordance with the recommendations contained within the Preliminary Ecological Appraisal by RSK dated October 2016 and the Bat Emergence Survey by Lizard Landscape Architecture dated 26th May 2016.</p> <p>Reason: To ensure the works do not impact on any protected species in the event they are found during construction works in accordance with Policy CS17 of the West Berkshire Core Strategy 2006-2026.</p>
26	<p><b>Fire Hydrants</b></p> <p>The school hereby approved shall not be brought into use until the fire hydrants, or other suitable emergency water supplies have been implemented in accordance with drawing number P15228-ELE-XX-XX-DR-ME-96001 Rev P1 and shall be retained thereafter.</p> <p>Reason: There are no available public mains in the area to provide a suitable water supply in order to effectively fight a fire. The fire hydrants are required to protect the amenities of future occupants of the application site and adjacent land in accordance with Policy CS14 of the West Berkshire Core Strategy 2006-2026.</p>

### ***Informatives***

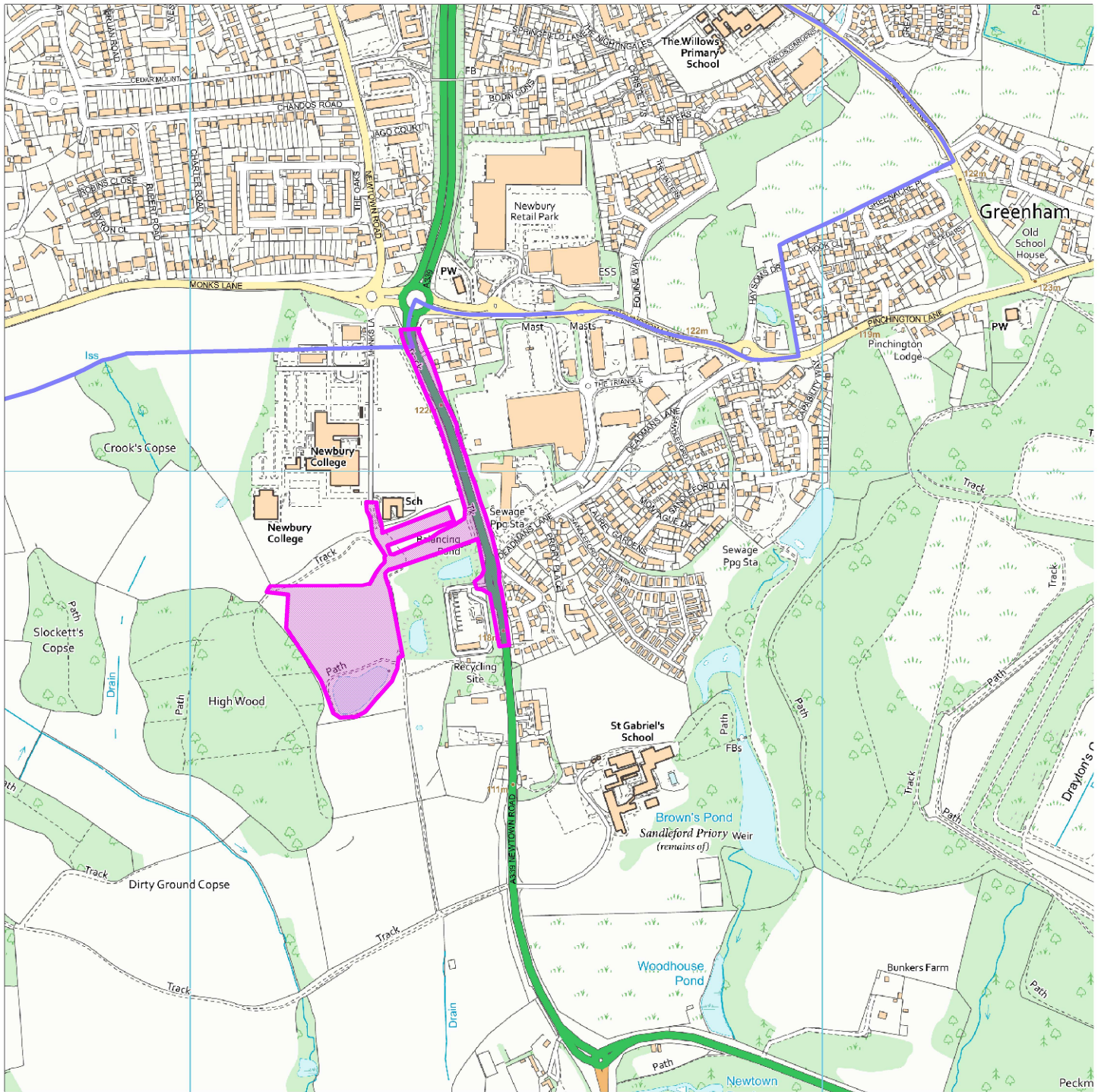
1.	<p>This decision has been made in a positive way to foster the delivery of sustainable development having regard to Development Plan policies and available guidance to secure high quality appropriate development. In this application whilst there has been a need to balance conflicting considerations, the local planning authority has worked proactively with the applicant to secure and accept what is considered to be a development which improves the economic, social and environmental conditions of the area.</p>
2.	<p>The decision to grant planning permission has been taken because the development is in accordance with the development plan and would have no significant impact on the character and appearance of the area, amenities of neighbouring properties, ecology, trees, flooding and drainage. This informative is only intended as a summary of the reason for the grant of planning permission. For further details on the decision please see the application report which is available from the Planning Service or the Council website.</p>
3.	<p>All bats are protected by The Wildlife and Countryside Act 1981 (WCA) (as amended) &amp; The Conservation of Habitats and Species Regulations 2010. Should</p>



	you find bats during development, all work must stop until advice has been sought from Natural England. Their local contact number is 0300 060 3886.
4.	The attention of the applicant is drawn to the requirements of Section 60 of the Control of Pollution Act 1974 in respect of the minimisation of noise on construction and demolition sites. Application, under Section 61 of the Act, for prior consent to the works, can be made to the Environmental Health and Licensing Manager.
5.	In relation to Tree T02, the applicant is asked to give consideration to retaining the trunk of the tree on site in as large a section as possible to allow it to decay naturally for the local wildlife.

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Land South of New College, Monks Lane, Newbury RG14 7TD



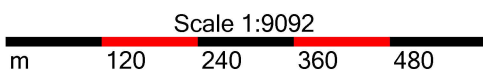
Map Centre Coordinates :

Scale : 1:9092

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<b>Organisation</b>	West Berkshire Council
<b>Department</b>	
<b>Comments</b>	Not Set
<b>Date</b>	17 June 2021
<b>SLA Number</b>	0100024151



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# Highwood Copse Primary School

Photographs for Western Area Planning Committee

Application 20/02779/COMIND



View of temporary access road from Newbury College (looking north)



View of School site with entrance gate and staff parking from the A339 link road (looking south-west)



View of School site from A339 Link Road (looking south-west)





View of A339 Link Road with bund to northern side (looking west)



Page 50

View of A339 Link Road with layby. School site is on the left (looking west toward Sandlesford allocated site)



View of A339 Link Road with area for potential expansion of school on the right (looking east)



View of Kiss and Drop area to front of school building from western entrance (looking south)



View of northern boundary of school site and area previously proposed for kiss and drop parking (looking north-east)



View of relocated cycle and scooter parking with 2 metre tall fencing behind separating potential future expansion land (looking north)



View of playing pitch in foreground with 2 metre tall fence separating potential future expansion land required for 2FE school (looking north)



View of hard surface MUGA surrounded by 2.4 metre tall fencing with 1.1 metre tall picket fencing in foreground (looking east)





View of eastern side of school building showing 1.1 metre tall picket fencing (looking north)



View of staff parking area within school site with electric vehicle charging points shown (looking south-west)